

CALIFORNIA COASTAL COMMISSION

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Filed: 5/27/05
49th Day: 7/15/05
180th Day: 11/23/05
Staff: RT-LB
Staff Report: July 21, 2005
Hearing Date: August 10-12, 2005
Commission Action:

STAFF REPORT: REGULAR CALENDAR

APPLICATION NUMBER: 5-05-210

APPLICANT: Hermosa Beach City School District

AGENT: Angela Jones

PROJECT LOCATION: 1645 Valley Drive, City of Hermosa Beach, Los Angeles Co.

PROJECT DESCRIPTION: Construction of a 34-foot high, 25,815 square-foot building, including four classrooms, gymnasium facilities, library facilities and maintenance facilities, and replacement of a retaining wall on the school campus.

Lot Area	8.8 acres
Building Coverage	13,400 square feet
Pavement Coverage	78,180
Landscape Coverage	158,048
Parking Spaces	69
Ht. above existing grade	34 feet

SUBSTANTIVE FILE DOCUMENTS:

1. City of Hermosa Beach Land Use Plan, certified 4/21/82.
2. Draft Environmental Impact Report, Hermosa Valley School Gymnasium and Classrooms Project, prepared by LSA, December 2004.
3. Final Environmental Impact Report, Hermosa Valley School Gymnasium and Classrooms Project, prepared by LSA, March 2005.
4. Project Manual, Hermosa Valley School New Construction, prepared by Dougherty & Dougherty Architects LLP, April 14, 2005.
5. Coastal Development Permit Application Attachment, Hermosa Valley School Gymnasium and Classrooms Project, prepared by LSA, May 2005.

6. Amendment to Coastal Development Permit 5-84-236-A2.

SUMMARY OF STAFF RECOMMENDATION

Staff is recommending that the Commission **APPROVE** a coastal development permit for the proposed development with three (3) special conditions addressing: 1) parking; 2) storage of construction materials, mechanized equipment and removal of construction debris; and 3) conformance of plans to recommendations and requirements.

STAFF RECOMMENDATION:

The staff recommends that the Commission adopt the following resolution to **APPROVE** the coastal development permit application with special conditions:

MOTION: *I move that the Commission approve Coastal Development Permit No. 5-05-210 pursuant to the staff recommendation.*

STAFF RECOMMENDATION OF APPROVAL:

Staff recommends a **YES** vote. Passage of this motion will result in approval of the permit as conditioned and adoption of the following resolution and findings. The motion passes only by affirmative vote of a majority of the Commissioners present.

I. Resolution: Approval with Conditions

The Commission hereby **APPROVES** a coastal development permit for the proposed development and adopts the findings set forth below on grounds that the development as conditioned will be in conformity with the policies of Chapter 3 of the Coastal Act and will not prejudice the ability of the local government having jurisdiction over the area to prepare a Local Coastal Program conforming to the provisions of Chapter 3. Approval of the permit complies with the California Environmental Quality Act because either 1) feasible mitigation measures and/or alternatives have been incorporated to substantially lessen any significant adverse effects of the development on the environment, or 2) there are no further feasible mitigation measures or alternatives that would substantially lessen any significant adverse impacts of the development on the environment.

II. Standard Conditions

1. Notice of Receipt and Acknowledgment. The permit is not valid and development shall not commence until a copy of the permit, signed by the permittee or authorized agent, acknowledging receipt of the permit and acceptance of the terms and conditions, is returned to the Commission office.
2. Expiration. If development has not commenced, the permit will expire two years from the date this permit is reported to the Commission. Development shall be pursued in a

diligent manner and completed in a reasonable period of time. Application for extension of the permit must be made prior to the expiration date.

3. Interpretation. Any questions of intent or interpretation of any condition will be resolved by the Executive Director or the Commission.
4. Assignment. The permit may be assigned to any qualified person, provided assignee files with the Commission an affidavit accepting all terms and conditions of the permit.
5. Terms and Conditions Run with the Land. These terms and conditions shall be perpetual, and it is the intention of the Commission and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.

III. Special Conditions

1. Parking Management Plan

At the time the school enters into a lease for use of the facilities approved by this permit, the school must require a parking management plan for any event that exceeds the on-site parking capacity during the peak summer period (from Memorial Day weekend to Labor Day weekend) from the lessee. The parking management plan shall limit the number of expected attendees to the number for whom parking can be provided on the site (138 attendees), or, if more attendees are expected, provide alternative parking and a shuttle to convey attendees to the site. On summer weekends the alternative parking plan shall not use spaces or lots identified for free beach parking by the City of Hermosa Beach in its preferential parking program. The alternative parking plan shall assure that no adverse impacts to beach access will result from the event.

2. Storage of Construction Materials, Mechanized Equipment and Removal of Construction Debris

The permittee shall comply with the following construction-related requirements:

- (a) Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) designed to prevent spillage and/or runoff of construction-related materials, and to contain sediment or contaminants associated with construction activity, shall be implemented prior to the on-set of such activity;
- (b) No construction materials, debris, or waste shall be placed or stored where it may enter a storm drain or be subject to tidal erosion and dispersion;
- (c) All trash and debris shall be disposed in the proper trash or recycling receptacle at the end of every construction day.
- (d) Construction debris and sediment shall be properly contained and secured on site with BMPs, to prevent the unintended transport of sediment and other debris into coastal waters by wind, rain or tracking. All stock piles and

- construction materials shall be covered, enclosed on all sides, shall be located as far away as possible from drain inlets and any waterway, and shall not be stored in contact with the soil;
- (e) Construction debris and sediment shall be removed from construction areas as necessary to prevent the accumulation of sediment and other debris which may be discharged into coastal waters. All debris and trash shall be disposed of in the proper trash and recycling receptacles at the end of each construction day;
 - (f) The discharge of any hazardous materials into any receiving waters shall be prohibited;
 - (g) A pre-construction meeting should be held for all personnel to review procedural and BMP/GHP guidelines;
 - (h) All BMPs shall be maintained in a functional condition throughout the duration of the project.
 - (i) Debris shall be disposed at a legal disposal site or recycled at a recycling facility. If the disposal site is located in the coastal zone, a coastal development permit or an amendment to this permit shall be required before disposal can take place unless the Executive Director determines that no amendment or new permit is required.

3. Conformance of Plans to Recommendations and Requirements

The permittee shall undertake development in accordance with the approved final plans. Any proposed changes to the approved final plans shall be reported to the Executive Director. No changes to the approved final plans shall occur without a Commission amendment of this coastal development permit unless the Executive Director determines that no amendment is required

IV. Findings and Declarations

The Commission hereby finds and declares:

A. Project Description

The subject site is located near central Hermosa Beach on the west side of Valley Drive, just north of Pier Avenue in the County of Los Angeles. Comprising 8.8 acres, the project site is located at 1645 Valley Drive (Exhibit #1), approximately 1/3 mile from the beach. The project is located in a residential area but is close to Pier Avenue, which is a commercially designated collector street that leads from Pacific Coast Highway and Valley Drive to the beach. The site is bounded by single-family and multifamily residential to the north and west, multifamily residential and commercial to the east, and a mobile home park and commercial property to the south, and a linear park directly east of the site running north and south along a former railroad right-of way. The project site is currently developed with Hermosa Valley School, including 5 buildings, two parking lots, an asphalt court area and grass playfields. The Hermosa Valley School site is located partially within

and partially outside the Coastal Zone. However, the area proposed for new construction is located within the Coastal Zone.

The applicant is proposing construction of a 34-foot high, 25,815 square-foot building, including four classrooms, gymnasium facilities, library facilities and maintenance facilities, and replacement of a retaining wall on the school campus. The new building will be constructed on the existing asphalt area of the campus and will displace four re-locatable classrooms, the handball courts and a portion of the striped asphalt courts.

The building was designed to accommodate the greatest number of elements needed while minimizing the square footage. The site design also includes construction of a new driveway access at the main parking lot, six additional parking spaces and expansion of the art classroom. No other additional parking will be provided. The new building will be designed with similar building materials, colors and architectural composition as those of the existing school buildings. The project also includes reconstruction of the retaining wall at the west end of the asphalt. The new wall will be 16 feet high and will be located in the same area as the existing wall.

The primary use of the new building will be for the existing school curriculum. The gymnasium will be used for inter-district sports events after school hours and will be available for community use after school hours and on weekends, as consistent with Board policies.

Since the site is already developed, new grading will be minimal. Approximately 3,650 cubic yards of existing asphalt will be cut and exported from the site to an environmentally cleared destination site.

B. Visual Impacts

Section 30251 of the Coastal Act states:

The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural land forms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance visual quality in visually degraded areas. New development in highly scenic areas such as those designated in the California Coastline Preservation and Recreation Plan prepared by the Department of Parks and Recreation and by local government shall be subordinate to the character of its setting.

Section 30251 of the Coastal Act protects community character and views to and along the coast. The project site is not located adjacent to the shoreline; it is not visible from the shoreline and there are no views to the ocean from the project site, due to a large developed and vegetated sand dune that borders the western side of the school. Elevations on the developed portion of the site range from approximately 43 feet in the

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EXHIBIT # 4
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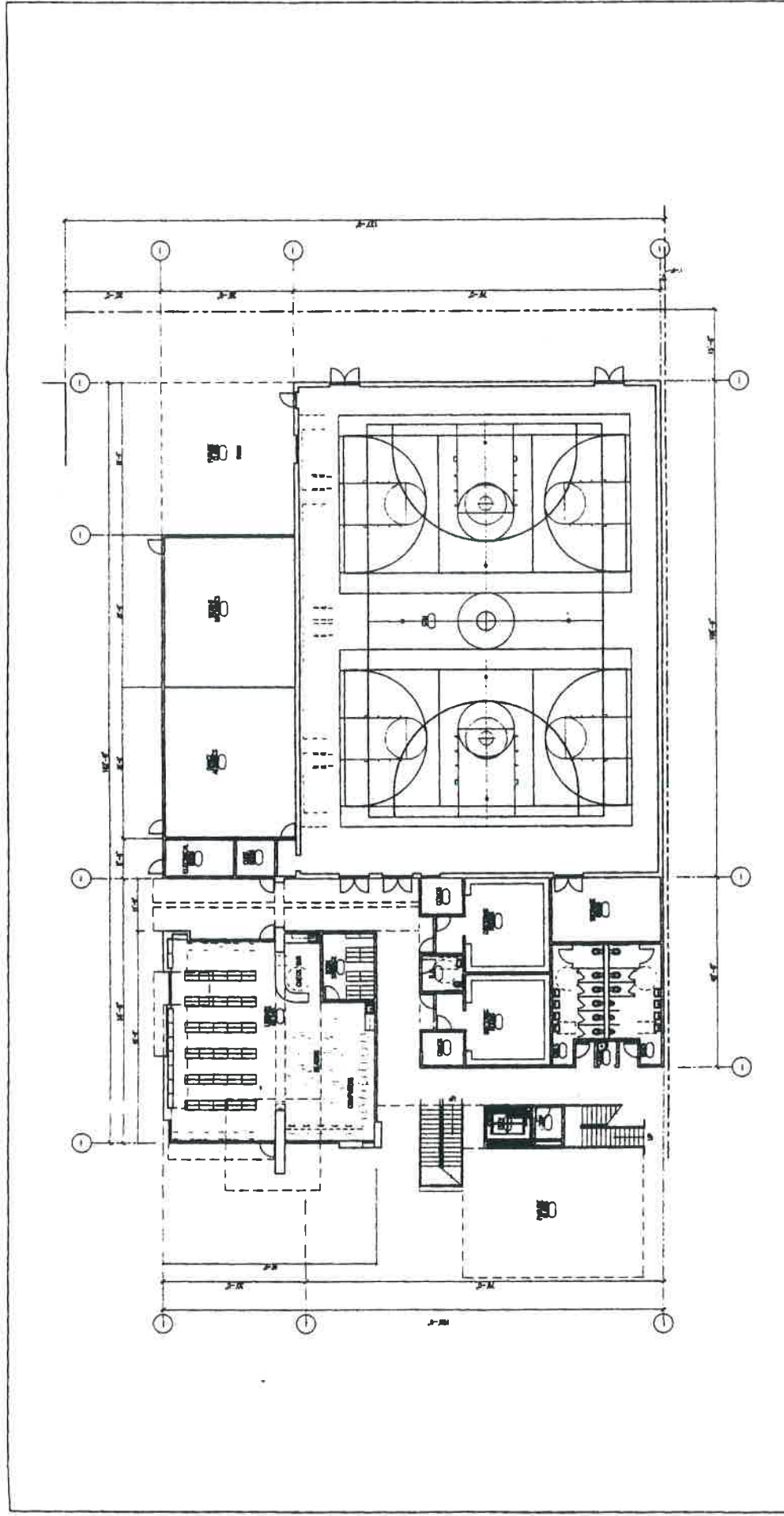


FIGURE 3.4.A

LSA



NO SCALE

SOURCE: DOUGHERTY & DOUGHERTY
1.0814139021st Floor (11/06/04)

Hermosa Valley School
Gymnasium and Classrooms Project
Conceptual Site Plan - First Floor

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EXHIBIT # 4

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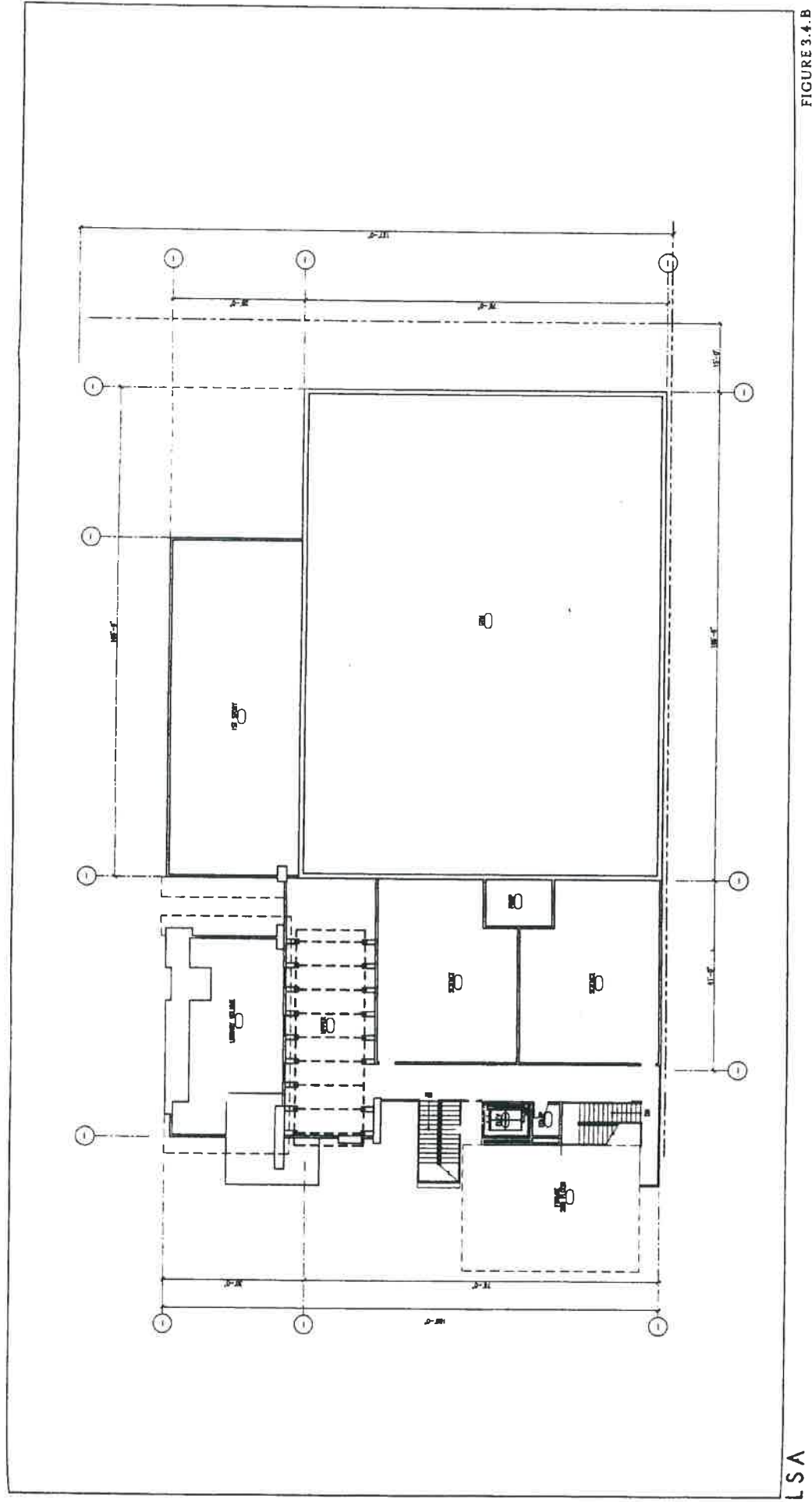


FIGURE 3.4.B

Hermosa Valley School
Gymnasium and Classrooms Project
Conceptual Site Plan - Second Floor