

GREEN BILL

FB

SCHOOL BUILDING ACT—CHAPTER 59—1933

File #19-45

APPLICATION No. <u>382</u>		FOR CONSTRUCTION		RECONSTRUCTION <u>X</u>		ALTERATIONS		ADDITIONS	
CITY <u>Los Angeles</u>	School District <u>Hermosa Beach</u>	Name of School <u>NORTH SCHOOL</u>				No. _____			
Applicant Board of Public Bldg. Reconstruction		Sacramento, California		Chairman <u>Samuel C. Elliott</u>		Name _____			
Title _____		Address _____		Name _____		Address _____			
Query Received _____	Date _____	Answered _____	Date _____	Forms Sent Out _____	Date _____	Application Received <u>6/21/34</u>	Date _____		
Estimated Cost of Building \$ <u>4,335.00</u>		Fee Paid \$ <u>50.00</u>	Actual Cost \$ _____	Additional Fee Paid \$ _____		Date _____			
Architect <u>Samuel E. Lunden</u>	<u>400 Rowan Bldg., Los Angeles</u>	Structural Engr. <u>Paul E. Jeffers</u>		<u>816 W. 5th Street, Los Angeles</u>		Address _____			
Name _____		Name _____		Name _____		Address _____			
Additional Information _____		Drawings sent out for correction _____	Date _____	Recd. _____	Date _____	Sent out _____	Date _____	Recd. _____	Date _____
Plans & Specs Approved <u>7/27/34</u>		Application Approved <u>10/18/34</u>		Inspector _____		Name _____		Approved _____	Date _____
Plans Checked By _____		Date _____		Inspector _____		Name _____		Approved _____	Date _____
General Supervision by _____		Inspector _____		Name _____		Approved _____		Date _____	Approved _____
Contractor <u>Johnson & Hansen</u>		Address _____		Inspector _____		Name _____		Approved <u>Emerson C. Simpson</u>	Date <u>8/27/34</u>
Contract Let _____		Date _____		Work Started _____		Date _____		Inspector _____	Date _____
Certified Reports Received		Architect <u>Final 1/17/35</u>		Structural Engineer <u>" 9-19-35</u>		Inspector <u>Final 12/20/34</u>		Date <u>12-27-34</u>	
Building Completed _____		Date _____		Certificate of Approval Issued _____		Closed job (See memo 4/24/39)		See over for Notes	

[For full information concerning the filling out and filing of this form send for Rules and Regulations of the Division of Architecture Relating to the Safety of Design and Construction of Public School Buildings]

STATE OF CALIFORNIA
DEPARTMENT OF PUBLIC WORKS
DIVISION OF ARCHITECTURE

Application No. 382 Filed 6/21/34
(Applicant must not fill in the above blanks)

**Application for Approval of the Plans and Specifications for
the Construction, Reconstruction, Alterations of
or Additions to a School Building**

I, BOARD OF PUBLIC BUILDING RECONSTRUCTION of Sacramento
Name of applicant Post Office
County of Sacramento State of California

Hereby make application for the approval of the plans and specifications for the

construction
reconstruction x
alterations
additions to
Check description

of NORTH SCHOOL
Name of school Name of building

School board Hermosa Beach City President Samuel C. Elliott
Name Chairman

City Hermosa Beach County of Los Angeles State of California
Post office

The applicant is acting for the school board in the legal capacity of agent
Agent, Secretary, Trustee, etc.

Architect Samuel E. Lunden Address 400 Rowan Building, Los Angeles, Calif.

Structural Engineer Paul E. Jeffers Address 816 West Fifth Street, Los Angeles, Calif.

The school is located in the City of Hermosa Beach County of Los Angeles.

Lots 10 to 15 inc Block 5 Street 25th Street No. _____

1/4 Section _____ Township _____ Range _____

DESCRIPTION

1. Character of construction Brick exterior walls, wood frame interior walls, floors and roof

New construction four inch gunite on brick walls and horizontal steel truss at roof.

2. Number of stories 1 and part basement

3. Foundation conditions:

a. Character of surface soil sand

b. Character of foundation soil sand

Exterior dead load soil pressure 1380#
live " " " " 210

c. Allowable bearing value used 2090 (lbs. per sq. ft. live and dead load)

d. Interior partitions (1/4) dead load 1420#
live " " " " 860

d. For piles total load per pile 2280 (lbs. live and dead load)

e. Depth of ground water below grade approximately 50 feet max. _____ min.

f. Exceptional conditions _____

g. Bearing tests on soil ~~not~~ were not made (if made file report of findings).

4. Architectural plans sheets No. 1 to 2 inclusive.

Signed by Samuel E. Lunden and Paul E. Jeffers Architect, Structural Engineer.

5. Structural plans sheets 1 to 3 inclusive.

Signed by Samuel E. Lunden and Paul E. Jeffers Architect, Structural Engineer.

6. Specifications sheets 61 sheets to inclusive.

Signed by Samuel E. Lunden and Paul E. Jeffers Architect, Structural Engineer.

(NOTE.—The signer of the above plans and specifications will be held responsible by the State regardless of who prepared same.)

7. Calculations sheets 1 to 4 inclusive.

(NOTE.—Complete structural calculations must accompany all plans.)

8. Estimated cost \$4,335.00 exclusive of furniture.

9. Total allotment \$4,450.00 exclusive of furniture.

SPECIAL INFORMATION

10. Description of construction of existing work for reconstruction, alteration or addition: _____

11. Brief resume of foundation test, if made _____

12. The plans, specifications and structural calculations and filing fee of \$ 50.00 accompanying this application are a part thereof.

[Signed]

This 6th day of June 1934.

Mailing address of Applicant. 400 Rowan Building
Los Angeles, California

APPROVAL OF APPLICATION NO. 382, INCLUDING
THE PLANS AND SPECIFICATIONS

THIS IS TO CERTIFY, That application No. 382, including the plans and specifications for the North School Building, has been examined and the same is hereby _____ approved, subject to the conditions that construction work will be started within one year from date.

WITNESS my hand and the seal of the Division of Architecture, Department of Public

Works of the State of California, this 18th day of October 1934

GEO. B. McDOUGALL
State Architect

E. H. Kromer
Principal Structural Engineer

**Sample of Samuel E. Lunden's 61 pages of specifications for the
Reconstruction of North School 1934.**

Samuel Lunden was intimately involved in the design of North Schools as
illustrated in the examples below:

**From Page D-14 of 61 pages submitted to the Department of State Architects in 1934 for the
reconstruction of North School:**

33. MISCELLANEOUS ITEMS:

33-1. TILE ORNAMENT ON FRONT ENTRANCE GABLE: The work of this section shall
include the setting and anchoring of two 4" X 9" Palacio tiles over cast gunite ornament is shown and
detailed on front elevation and supplied under Carpentry, Section H.

33-2. LETTERING ON FRONT OF BUILDING: The work of this section shall include the
setting of the letters as shown on front elevation and supplied under Carpentry, Section E.

33-3. MODEL FOR ORNAMENT OVER FRONT ENTRANCE: The work of this section shall
include the setting of the furnishing and setting of the model according to the drawings and details. The
model shall be set as part of the forms and Gunite blown against same. The model shall be made by an
approved modeler under the direction of the Architect and be approved by him before the work is
executed in Gunite. The finish of ornament to be as directed by the Architect.

34. GUNITE IN STAIR HALLS: Shall receive a floated texture finish.

**From Page H-7 of 61 pages submitted to the Department of State Architecture in 1934 for the
reconstruction of North School:**

20. TILE OVER FRONT ENTRANCE MOTIF: Shall be two (2) 4" X 9" Palacio tile as manufactured by
Gladding-McBean Co., or approved equal, of a thickness of 1-1/2" properly and securely set as detailed.

21. ITEMS COVERED BY ALLOWANCE:

(a) This Contractor shall furnish letters as shown on front elevation and approved by the
Architect, same to be installed as specified in Gunite, Section D. An allowance of \$35.00 is to be
included in this contract for the purchase of these letters.

(b) ALLOWANCES: At the completion of the job any unexpended balance will be credited to the
Owner and the contract adjusted on the Architect's change order.

24.

CONCRETE IN GUTTER FILLING.

24. CONCRETE IN GUTTER FILLING: SHALL BE SET IN A 1:2:4 MIXTURE OF PORTLAND CEMENT, SAND AND GRAVEL.

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25.

REINFORCEMENT BARS.

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34. **OWNER'S OBLIGATIONS:** Shall receive a finished building

to be erected by the architect.
The work is executed in concrete. The finish of ornament is
the direction of the architect and is approved by the owner.
The model shall be made by an approved modeler under
shall be set as part of the form and concrete finish against
the model according to the drawings and details. The model
of this section shall include the foundation and setting of
33-2. **MODEL FOR CONCRETE WORK FROM EXHIBIT:** The work
from elevation and supplied under contract, Section E.
Section shall include the setting of the letters as shown in
32-2. **LETTERING ON FRONT OF BUILDING:** The work of this
Section E.
and detailed on front elevation and supplied under contract,
and 4 x 6 of plastic film and cast white cement as shown.
This section shall include the setting and erecting of
32-1. **THE ORIENTATION ON FRONT EXHIBIT:** The work of
32. **REVISIONS:**

to the approval of the architect or the representative.
The work, plan and other finished drawings shall be checked
the end site, and the interior and exterior work, such as
incident to the concrete work, shall be removed from the building.
32-2. **When completion of the concrete work, all concrete details**
under each one.
after the building operation is completed and not less than
of the building operation shall be immediately cleared up
throughout and the structural drawings. The details shown
in a manner showing of the representative of the
owner, owner, plan and all other finished and
shall thoroughly check all interior and exterior work.

(b) ALLOWANCES: At the completion of the job any unexpended balance will be credited to the Owner and the contract adjusted on the architect's change order.

(a) This Contractor shall furnish letters as shown on front elevation and approved by the architect, same to be installed as specified in Guide, Section D. An allowance of \$35.00 is to be included in this contract for the purchase of these letters.

21. ITEMS COVERED BY ALLOWANCE:

Plastic tile as manufactured by Gladding-McBean Co., or approved equal, of a thickness of 1-1/2" properly and securely set as detailed.

20. TILE OVER FRONT ENTRANCE NOSE:

Shall be two (2) 4" x 9" existing joists to bring floor to required level. Where necessary new joists shall be added to adjacent class rooms to bring them to an even and level deck up and properly shim floor joists under corridor and The floor of corridor #27 shall be leveled as follows:

19. LEVELING CORRIDOR FLOOR:

Finish hardware shall be attached permanently. Painting and finishing of woodwork has been completed, the ware, carefully replace in boxes and label. After all accurately fitted. After fitting remove all finish hardware. All new or replaced finish hardware shall be neatly and

18. WORKMANSHIP IN FITTING FINISH HARDWARE:

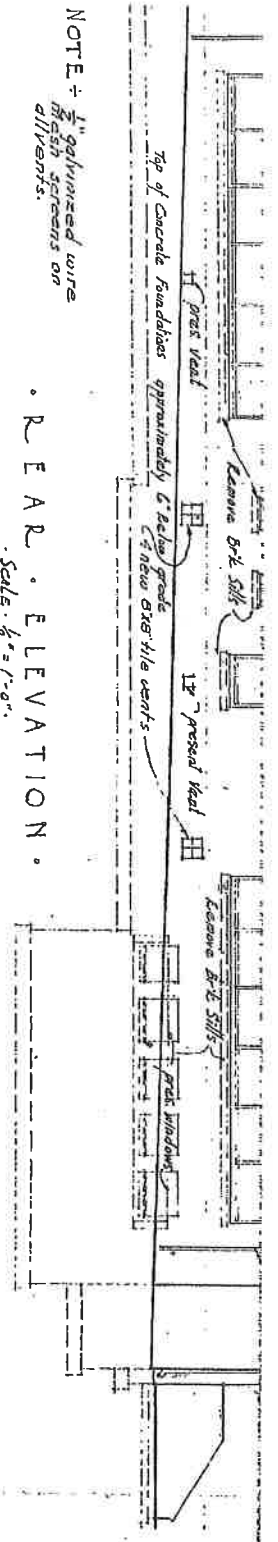
They shall meet with the approval of the architect. They shall be sanded and finished to match existing work and 17-4. If finish wood floors are damaged by the Contractor, referred to paragraph #12 of the Special Conditions, Sec. B. covering same with guarantee. The Contractor is also work or used in connection therewith shall be protected by

17-3. All finish wood floors adjacent to reconstruction

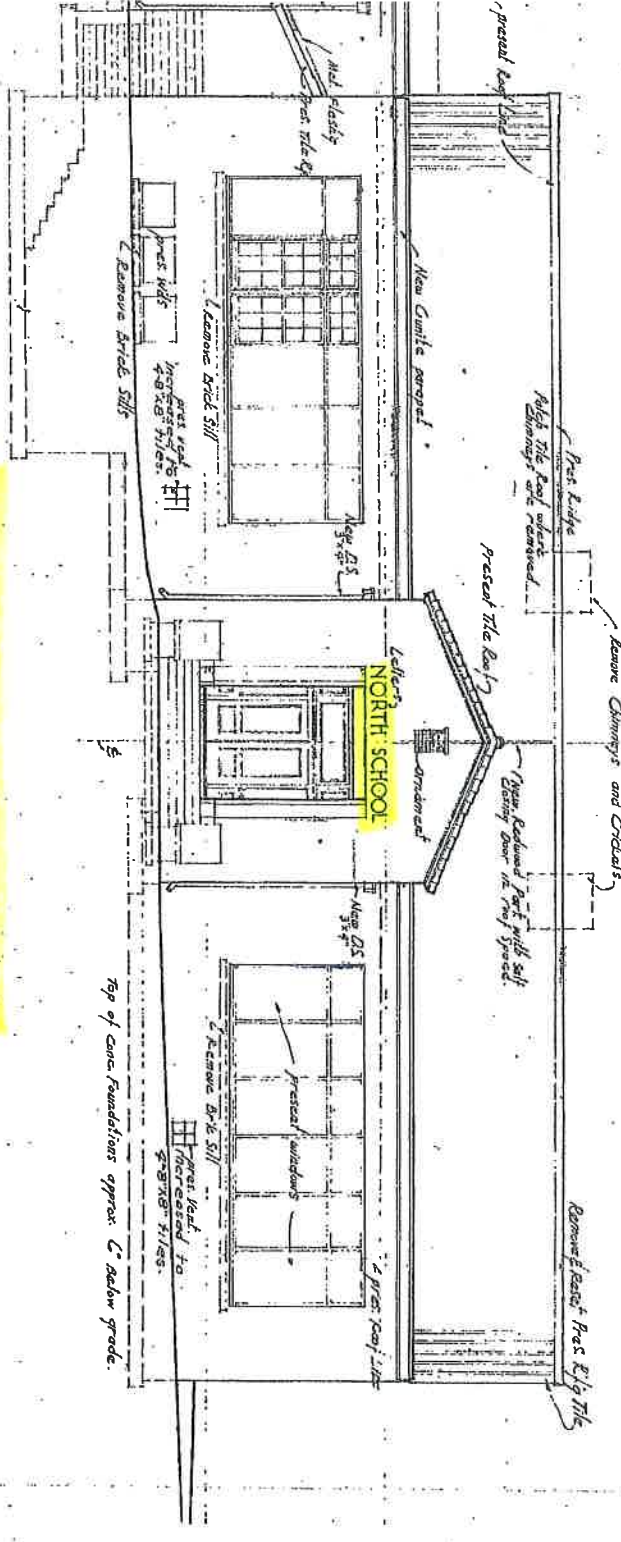
patched. Finished the floor does not have the appearance of being work shall be carefully and accurately done so that when the work of fitting and working in the new work to the old the preceding piece to which it joins to make a tight joint. driven in the place of flooring shall be toe-nailed forward at an angle of 45 to 60 degrees and the first nail of two not to exceed 16" on centers. The nails shall be driven at least on equal hardened steel cut flooring nails spaced at what the block will produce up to forty percent. Flooring shall be driven up tight and thoroughly blind-nailed with

NOTE: $\frac{1}{8}$ " galvanized wire
5/8" stems on
all vents.

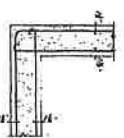
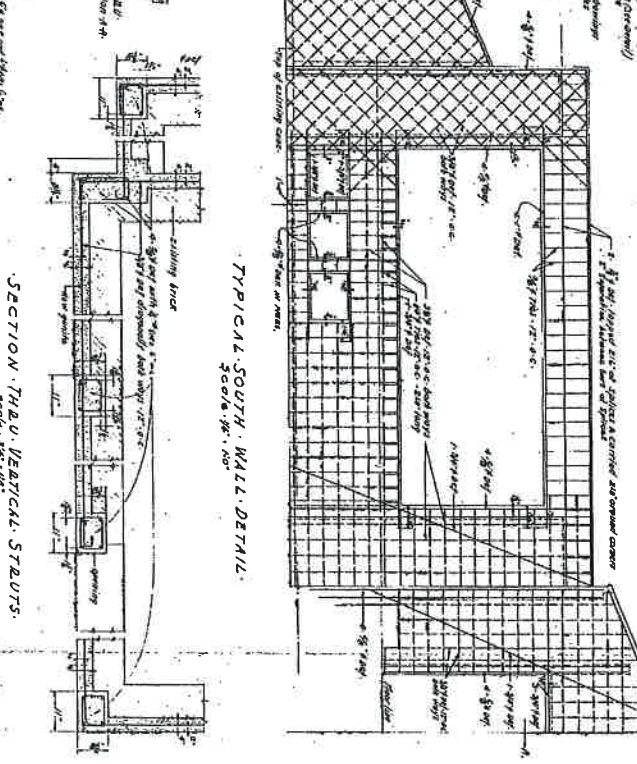
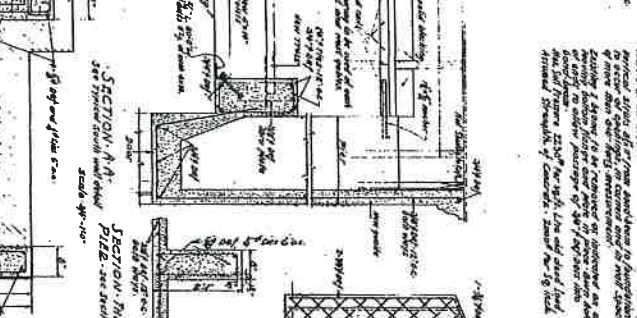
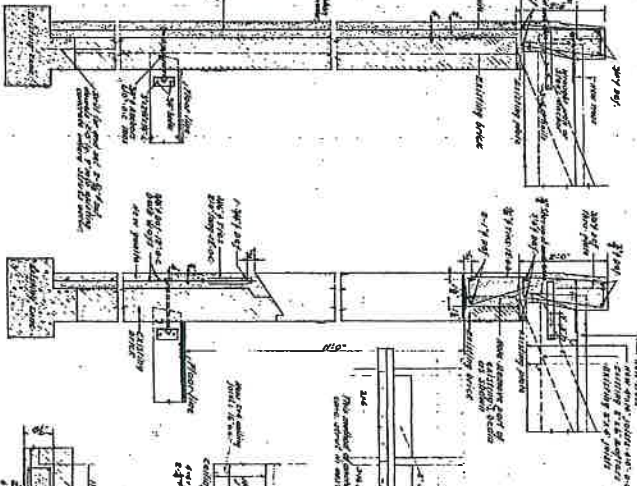
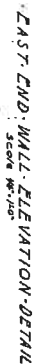
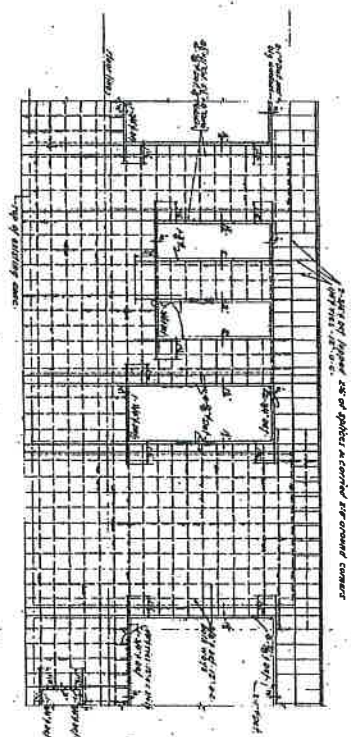
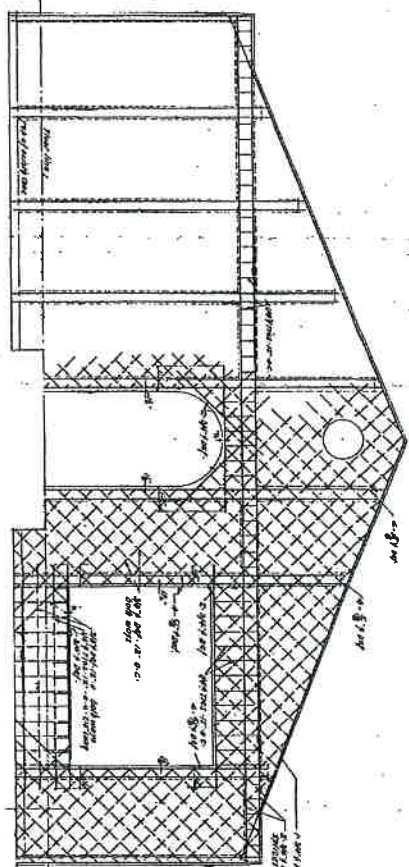
REAR ELEVATION.
Scale: $\frac{1}{8}$ " = 1'-0".



FRONT ELEVATION.
Scale: $\frac{1}{8}$ " = 1'-0".

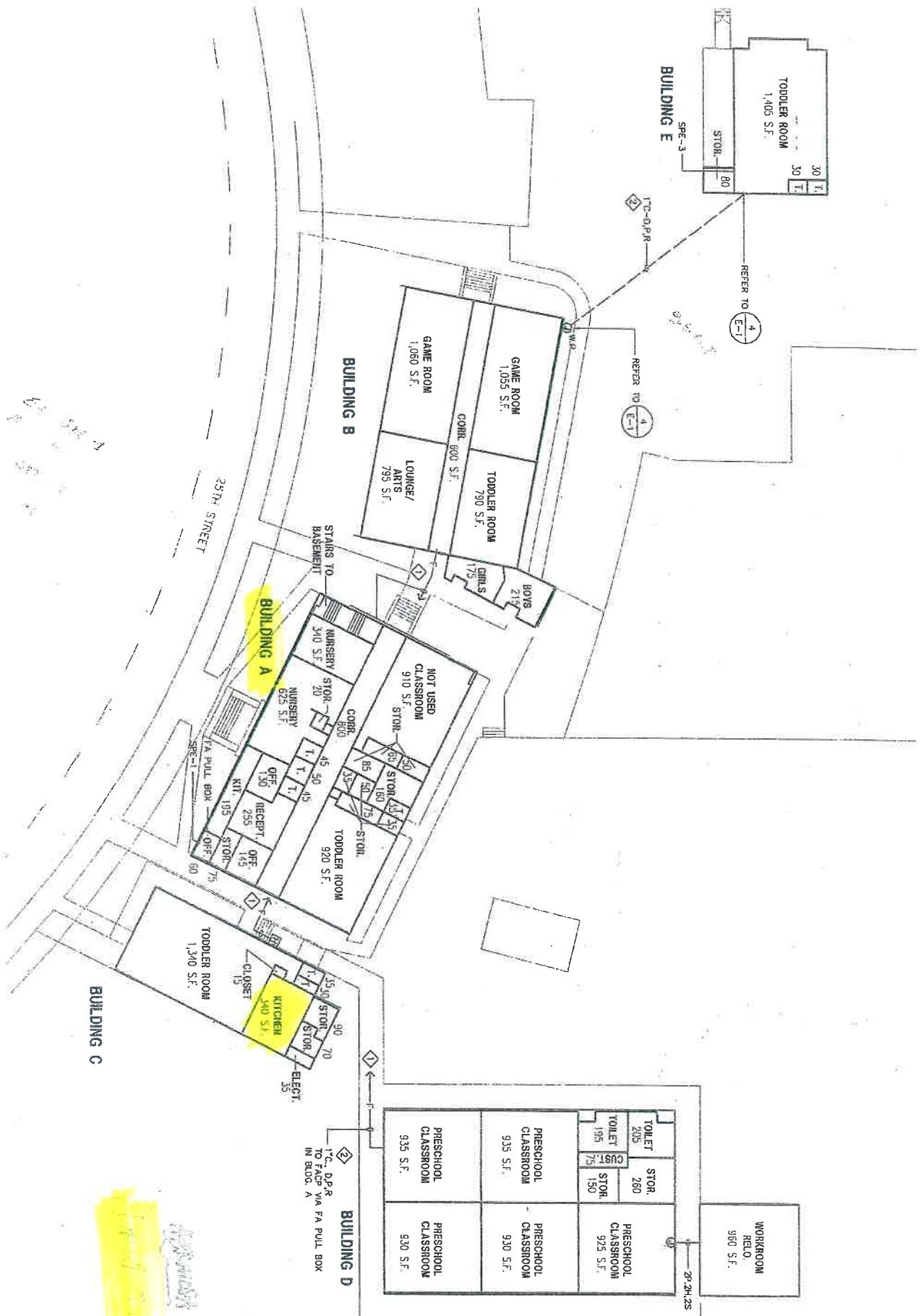


AUL - E. JEFFERS STRUCTURAL ENGINEER ARCHITECT BLDG. LOS ANGELES 14		PROJECT 382		SUPERINTENDENT OF SCHOOLS LOS ANGELES COUNTY		APPROVED 1934		NORTH SCHOOL RECONSTRUCTION WORK HERMOSA BEACH CITY SCHOOL DISTRICT	
ARCHITECT W. J. JEFFERS		DRAWN BY C. H. KENNEDY		CHECKED BY L. C. D.		SHEETS IN SET - 6		JOB MADE CHECKED	
STRUCTURAL ENGINEER		DATE 12/28/34		JOB MADE CHECKED		SHEETS IN SET - 6		JOB MADE CHECKED	

[illegible][illegible]







September 15, 2017

Preliminary Budget:

North School Renovation: Hermosa Beach, California

Scope of Work:

1. Health & Safety

- Test & repair fire sprinkler system
- Provide Exterior lighting @ all exterior doors & as required
- Provide emergency lighting in 3 oldest buildings

2. Site Work

- Remove existing Kindergarten Building @ the west end of the site
- Former Kindergarten Area to become new Parking Lot with 48 car capacity
- Remove existing portable classroom
- Provide wheelchair ramps as required
- Repair or replace all damaged or dangerous concrete walks
- Repair or replace concrete walls as required
- Test & repair as required the storm drain system
- Remove & replace all existing interior chain link fencing in new configuration as required
- Replace all guard rails to meet code
- Repair & resurface all existing asphalt play areas & existing parking area to become new expansion to existing play area
- Repair or replace existing irrigation system
- Relocate existing & or provide new playground equipment as required

3. ADA Compliance

- Maintain access to all portions of the plant
- Replace doors, frames & hardware throughout
- Add compliant Restrooms to Food Service/Cafeteria Building if required
- See 2. Site Work for all exterior upgrades
- Provide accessible drinking fountains as required

4. Buildings

- Repair any damage items
- Replace entire window system with energy efficient system through out
- Patch & repair stucco on all main buildings as required
- Paint entire exterior of 3 main buildings
- Power wash exterior brick @ existing east building
- Remove all unnecessary wiring & conceal surface mounted conduits etc. as required
- Patch all interior plaster in all buildings
- Repair or replace all damaged doors, frames, trim, cabinets etc. as required

Buildings Continued

- Paint interiors of all buildings complete including all millwork, casings & cabinets
- Provide new T-Bar ceilings in 3 Main Buildings
- Provide new acoustical tile on ceilings of East Classroom Building
- Re-finish the hardwood floors in the Main Building & West Building
- Provide new flooring in the Food Service/Cafeteria Building & the East Classroom Building
- Provide new chalk, tack & white boards in all classrooms
- Replace all light fixtures with energy efficient LED fixtures interior & exterior

5. Restrooms

- Replace all plumbing fixtures
- Repair or replace counters
- Repair damaged tile
- Sanitize & clean all surfaces
- Paint all paintable surfaces

6. Infrastructure

- Repair & upgrade existing Electrical system as required
- Add electrical outlets etc. as required
- Provide new Security system if required
- Provide communication wiring as required
- Provide intercom as required

7. New Classroom & Administration Building

- Construct new +/-3,200 sq. ft. building just north of existing East Classroom Building, separate building or addition
- Building to house additional classroom, learning center & administration offices
- Building to be 1-story & fully accessible

Preliminary Budget:

The preliminary budget for the work as stated including professional fees: \$ 6,160,000.00 (Six million, on hundred sixty thousand dollars)

Please contact us if you have any questions or comments.

Thank you,

John V. Juge, Jr.
Juge Company, Inc.

----- Forwarded message -----

From: Debi Howell-Ardila <DHowell@swca.com>

Date: Tue, May 31, 2016 at 5:05 PM

Subject: hermosa

To: "debihowell@gmail.com" <debihowell@gmail.com>

Debi Howell-Ardila. I'm senior architectural historian with SWCA and vice-chair of the CHC in South Pasadena. I hold a Bachelor's degree from UC Berkeley and a Masters of Historic Preservation from USC. I have 11 years of experience in historic preservation.

In my opinion, and based on the dozens of schools I've surveyed throughout SoCal, North Elementary appears eligible for the City of Hermosa Beach Register under local criteria A ("It exemplifies or reflects special elements of the city's cultural, social, economic, political, aesthetic, engineering, or architectural history") C ("It embodies distinctive characteristics of a style, type, period, or method of construction"), and D ("it is representative of the notable work of a builder, designer or architect," in this case, renowned architects Samuel Lunden and Marsh, Smith and Powell).

In terms of the California Register, it appears eligible under Criteria 1, as a highly representative example of a 1930's school, as well as Criteria 3, as an outstanding example of a WPA-era Art Deco institutional building.

School design is an area of specialty for me.

My recent project work has included writing a districtwide Historic Context Statement for the Los Angeles Unified School District. As I mentioned, I've evaluated numerous schools throughout Southern California, including 55 campuses for LAUSD alone. In 2014 and 2015, my LAUSD Historic Context Statement won awards from the California Preservation Foundation and the Los Angeles Conservancy. This is an area of particular interest to me.

Given the school's eligibility for the California Register and Hermosa Beach Register, it qualifies as a historical resource under the California Environmental Quality Act.

I understand that the City's schools need additional classroom space.

It would be a shame and loss if this school were demolished. Its scale, design, and character tell a unique story about the history of school design in Hermosa Beach

and Southern California. If the building is demolished, you'll lose an important reflection of that history and story that can't be replaced.

In addition, CEQA requires the consideration of feasible alternatives when a historical resource is involved.

So, given the significance of North Elementary, I urge the City to explore options for classroom expansion that will preserve the school, in keeping with the stated purpose of your own historic preservation ordinance: to "safeguard the City's heritage by encouraging the protection of landmarks representing significant elements of its history," "to foster civic and neighborhood pride and a sense of identity based on an appreciation of the City's past and the recognition and use of historic resources," and "to enhance the visual character of the City by preserving diverse architectural styles reflecting phases of the City's history," among others.

Thank you.

Debi Howell-Ardila

(e) debihowell@gmail.com

(c) 626.524.1917

Press Esc or click anywhere to return to Mail.